

**SIROCCO 7 (TRADITIONAL) CDC MASTER 4 BED, ENS, D/GARAGE GAMES ROOM (MASTER PLAN) 16.05.09 J.U.**

**EXCAVATION & SITE NOTES**

EXCAVATE TO FORM DATUM APPROX 610mm  
(EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. BACKFILL 150mm AGAINST FOOT OF SLAB).

SEWER CONNECTION TO EXISTING SEPTIC

WATER CONNECTION TO EXISTING METER

SITE LEVELS SUBJECT TO SECOND SITE INSPECTION.

SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE & BOUNDARY POSITIONS. DRIVEWAY GRADIENT

SUBJECT TO POSITION OF SERVICES

PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL

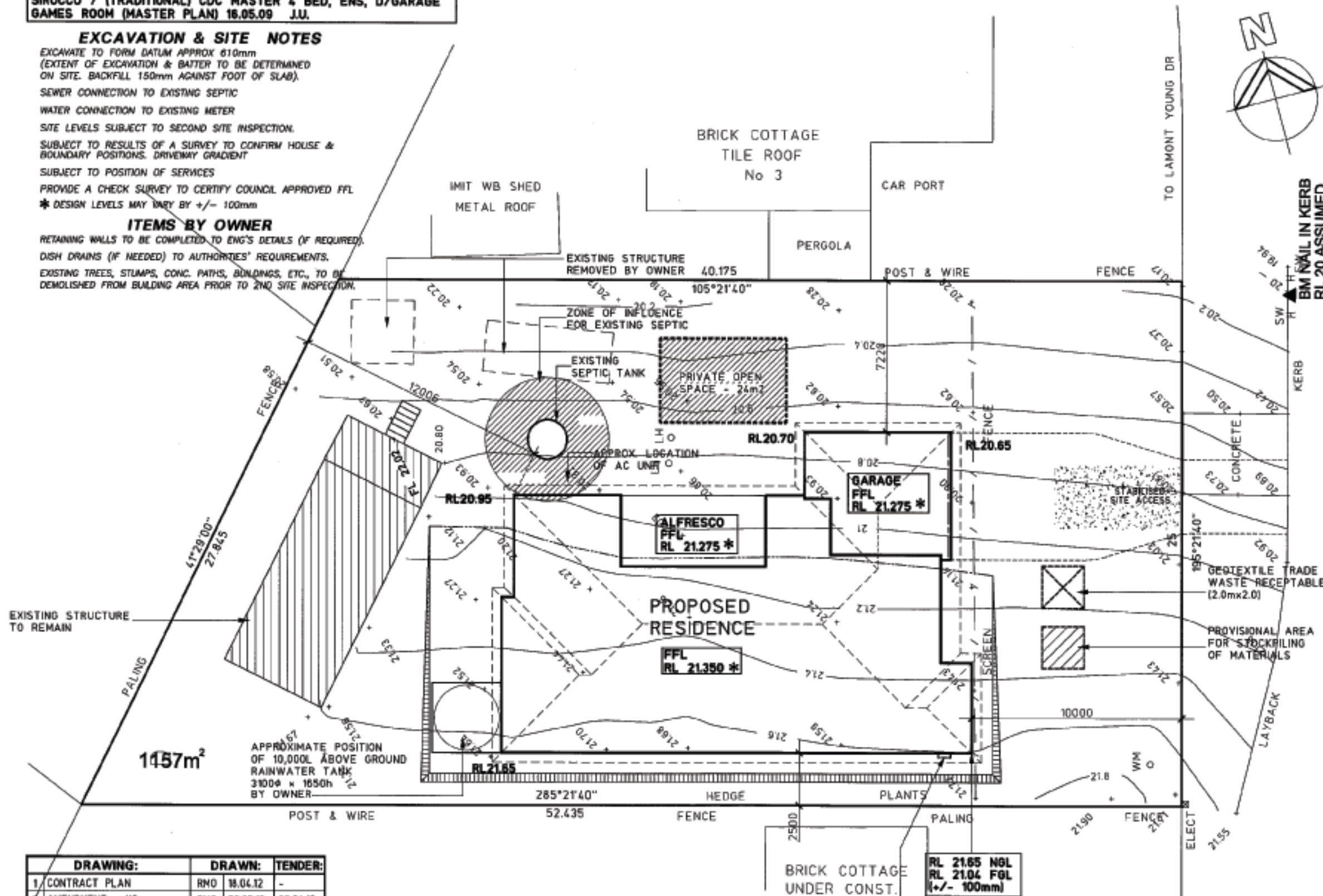
\* DESIGN LEVELS MAY VARY BY +/- 100mm

**ITEMS BY OWNER**

RETAINING WALLS TO BE COMPLETED TO ENG'S DETAILS (IF REQUIRED).

DISH DRAINS (IF NEEDED) TO AUTHORITIES' REQUIREMENTS.

EXISTING TREES, STUMPS, CONC. PATHS, BUILDINGS, ETC., TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO 2ND SITE INSPECTION.



BASIX & SITE INFORMATION	
BASIX CERTIFICATE NUMBER:	---
CONSTRUCTION CERTIFICATE NUMBER:	---
<b>SITE DETAILS</b>	
LOT NUMBER:	72
DP NUMBER:	702541
UBD REFERENCE:	---
SITE AREA:	1157m²
<b>HOUSE AREAS: (MEASURED TO EXTERNAL WALLS)</b>	
GROUND FLOOR:	221.70m²
GARAGE:	37.60m²
ALFRESCO:	23.32m²
<b>AREA:</b>	<b>282.62m²</b>
DRIVEWAY/PATHS TO BOUNDARY:	61.43m²
<b>PROJECT DETAILS</b>	
NO. OF BEDROOMS:	4
ROOF AREA:	336.97m²
TOTAL AREA OF ROOF MEASURED TO THE OUTSIDE OF GUTTERS EXCLUDES PARAPETS & TRAFFICABLE TERRACES (NOTER BOTH 150mm)	
GARDEN & LAWNS	825.57m²
AREA BY PROPOSED GARDENS & LAWNS	
<b>STORMWATER</b>	
MIN. RAINWATER TANK SIZE REQ:	10,000L BY OWNER
MIN. ROOF AREA CONNECTED TO RAINWATER:	336.97m²
RAINWATER USES:	AS PER BASIX
REMAINDER OF ROOFWATER & OVERFLOW TO:	STREET
HYDRAULIC DESIGN REQUIRED:	NO
<b>WATER</b>	
KITCHEN TAP FITTING RATING:	4 STAR
SHOWERHEAD RATING:	3 STAR
TOILET RATING: -DUAL FLUSH (3/6 litre)	3 STAR
BATHROOM TAP FITTING RATING:	3 STAR
<b>THERMAL COMFORT/ENERGY</b>	
EXTERNAL WALL SURFACE:	BRICK VENEER
EXTERNAL WALL INSULATION:	R1.5
WALL COLOUR:	---
ROOFING MATERIAL:	TILES
ROOF INSULATION:	---
ROOF COLOUR:	---
CEILING INSULATION:	R3.5
AIR CONDITIONING INCLUDED:	YES
EER:	2.5 - 3.0
HOT WATER SYSTEM:	GAS INSTANTANEOUS
STAR RATING:	5
COMPACT FLUORESCENT LIGHTING:	AS PER BASIX
COOKING APPLIANCES:	GAS C/TOP / ELEC. OVEN
CLOTHES DRYING LINE REQUIRED:	AS PER BASIX
WIND DRIVEN VENTILATORS REQUIRED/QTY:	YES / 2
<b>WIP (WORKS IN PROGRESS)</b>	
DRAINAGE REQUIRED:	YES/NO

DRAWING:	DRAWN:	TENDER:
1 CONTRACT PLAN	RMO 16.04.12	-
2 AMENDMENT - V2	RMO 09.05.12	26.04.12
3		
4		
5		
6		
7		
8		
9		
10		

**HOUSE WITHIN ZONE OF INFLUENCE FOR SEPTIC**

**MASTERTON'S 2011 MANSION PACKAGE**

**BUSHFIRE BAL 29**

**EXTREME MARINE CONDITIONS**  
(NOTE: BRICK JOINTS TO ONLY BE IRONED OR FLUSH. RAKED JOINTS ARE NOT ALLOWED)

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	Final Plan Issue: -	SHEET TITLE: SITE PLAN	
		SHEET No: 1/4	

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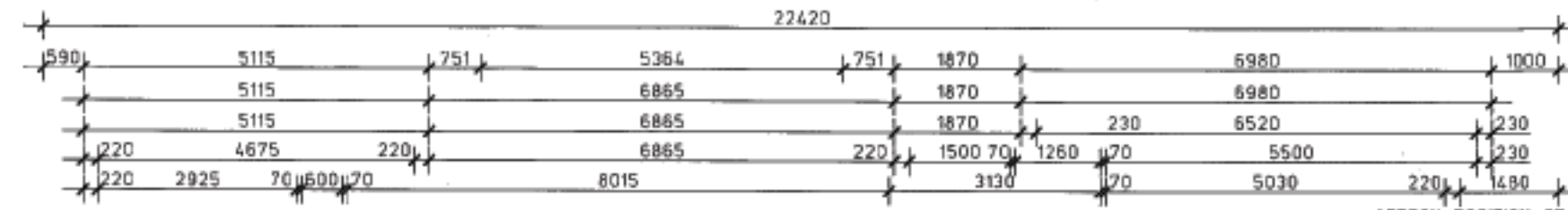
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**CONSTRUCTION NOTES**

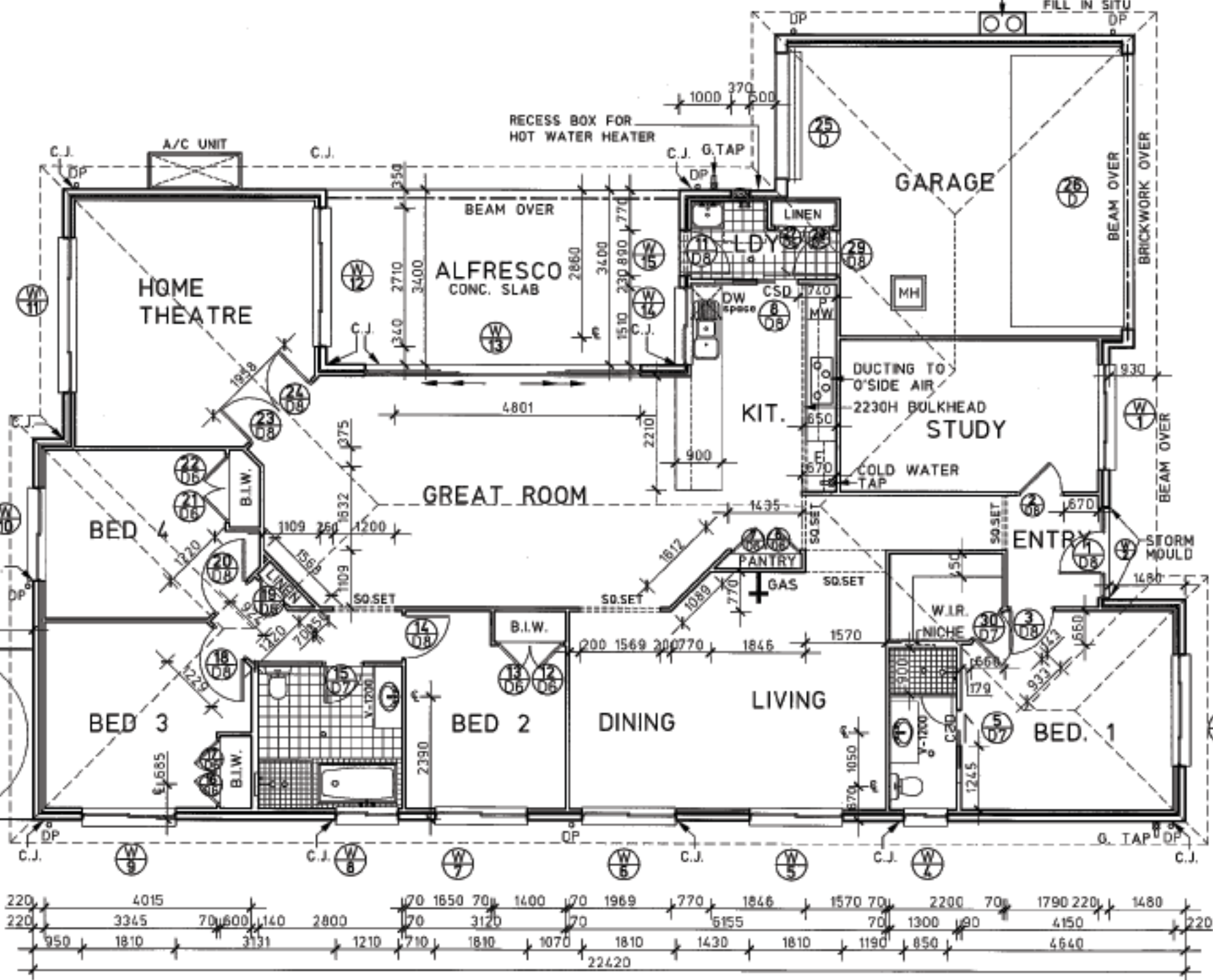
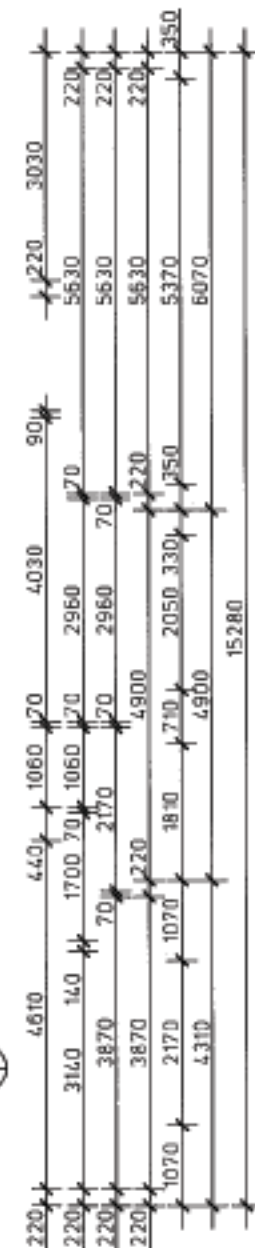
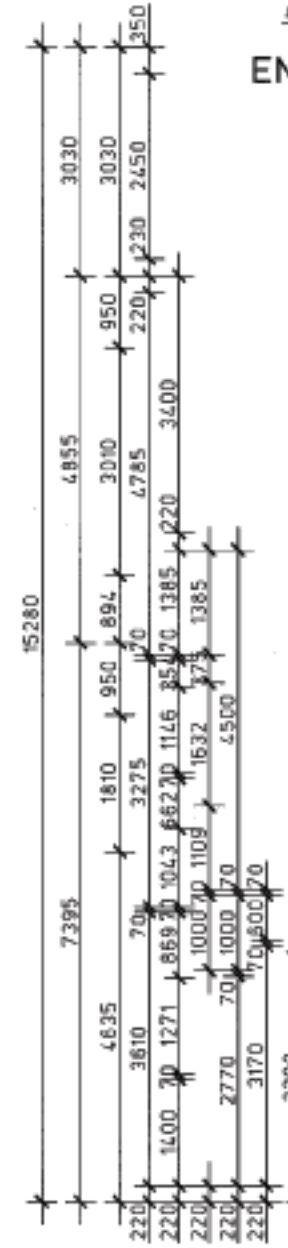
RIB RAFT CONCRETE SLAB ON GROUND CLASS "M" IN ACCORDANCE WITH AS 2870.1  
 EDGE BEAM TO HABITABLE AREAS STEPPED DOWN APPROX. 160mm.  
 EDGE BEAM TO GARAGE FLOOR STEPPED DOWN APPROX. 85mm.  
 GARAGE FLOOR STEP DOWN APPROX. 75mm.  
 GALVANISED BEAMS REQUIRED AS PER PLANS.



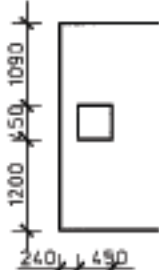
ENSUITE NICHE



APPROX POSITION OF LPG GAS BOTTLES FILL IN SITU



APPROXIMATE POSITION OF 10,000L ABOVE GROUND RAINWATER TANK 3100mm x 1650mm BY OWNER



BATHROOM NICHE

**ADDITIONAL NOTES**  
 ALL SERVICE POSITIONS TO BE DETERMINED ON SITE BY SUPERVISOR  
 BULKHEADS TO BE DETERMINED ON SITE BY SUPERVISOR  
 PROVIDE PEST TREATMENT SYSTEM  
 E OF DP TO BE 350mm FROM CORNER OF FACE BRICKWORK (UNLESS SPECIFIED ON ELEVATION)

All permanent bracing in accordance with AS 1684 - Timber Framing Code. Wind velocity W28N

**Project Details**

Design: **SIRROCO 7**  
 Facade: **TRADITIONAL**  
 Edition: **PLATINUM**

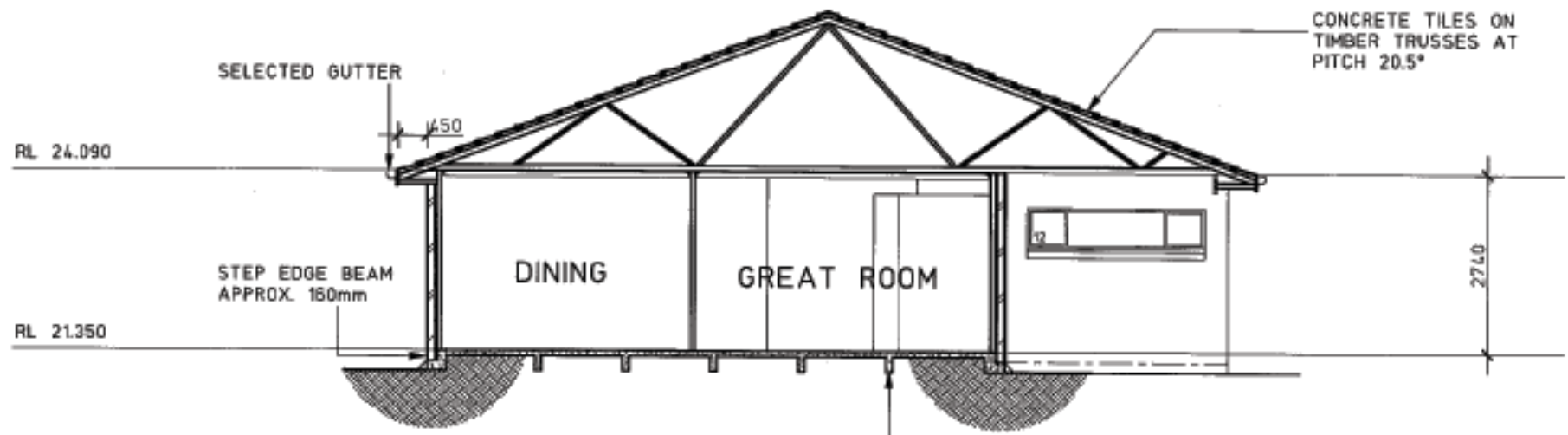
DRAWN BY:	RMO	DATE:	17.04.12
SHEET TITLE:	FLOOR PLAN		SHEET No. 2/4
SCALE:	1:100	FINAL PLAN ISSUE:	-

**GENERAL NOTES**

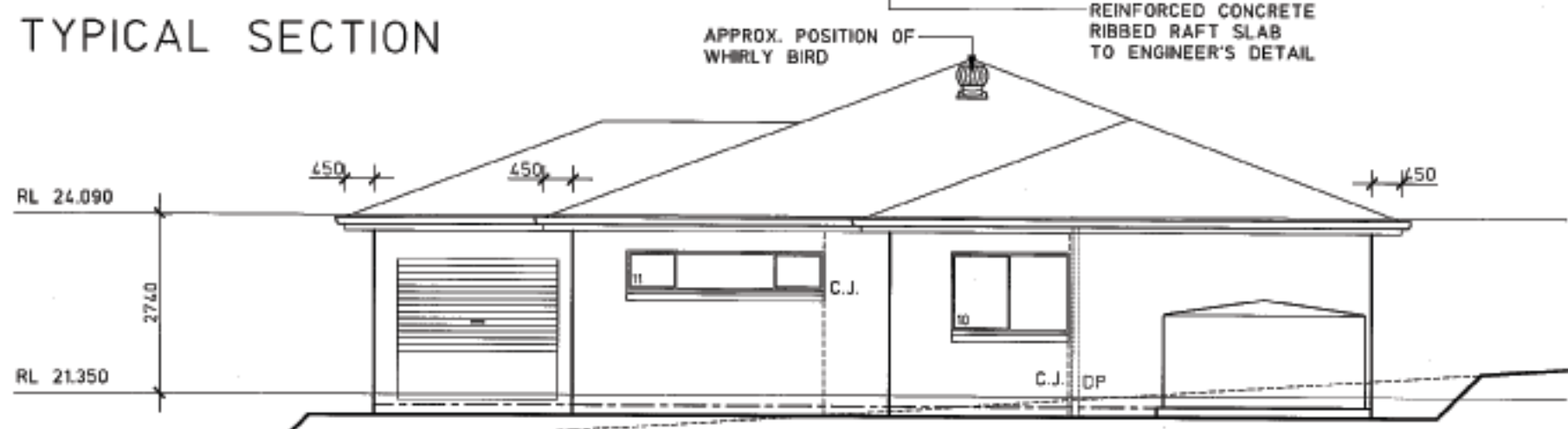
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TYPICAL SECTION



REAR ELEVATION

- ALUMINIUM SCREENS WITH A MAXIMUM APERTURE SIZE OF 2.0mm TO COVER OPENING SASH OF OPENABLE WINDOWS.
- ALUMINIUM MESH SCREENS WITH A MAXIMUM APERTURE SIZE OF 2.0mm TO COVER OPENING SASH OF SLIDING DOORS (EXCLUDES SECURITY GRILLE).
- ALUMINIUM MESH SCREENS WITH A MAXIMUM APERTURE SIZE OF 2.0mm TO ALL EXTERNAL HINGED DOORS (EXCLUDES SECURITY GRILLE).
- PROVIDE 5mm TOUGH GLAZING TO ALL WINDOWS, SLIDING AND HINGED DOORS

Standard Electrical Schedule For Sirocco 7

ROOM	SP	DPP	LIGHT	WLIGHT	SD	EX FAN	2WAY	3WAY	WPP	TEL	TV
Living		1	1								
Dining		1	1								
Great Room		2	2								
Games		1	1								
Bed 1		2	2								
Bed 2		1	1								
Bed 3		1	1								
Bed 4		1	1								
Kitchen	1	2	1								
Bathroom		1	1			1					
Ensuite		1	1			1					
Laundry		1	1								
Garage		1	2								
Entry			1		1						
Hallway 1			1								
Hallway 2			1		1						
Front Porch			1								
External				1							
Misc										2	2
<b>TOTAL</b>	<b>1</b>	<b>16</b>	<b>20</b>	<b>1</b>	<b>2</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>2</b>

- LEGEND**
- SP Single Power Point
  - DPP Double Power Point
  - LIGHT Light Point
  - WLIGHT Wall Light Point
  - SD Smoke Detector
  - EX FAN Exhaust Fan
  - 2WAY 2 Way Switch
  - 3WAY 3 Way Switch
  - WPP Weather Proof Power Point
  - TEL Telephone Point
  - TV Tv Point

Note: All Variations, Additions & Amendments to the standard Masterton plan do not include Electrical Upgrades. All Upgrades & Amendments to be made at Electrical Selection Stage

WINDOW SCHEDULE				
No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1	SFS2021	2000	2110	
2	ME4	2340	1745	T. E. F. - TO SUIT 2340H DOOR
3	XDX/0002122	2060	2170	
4	XD1209/DT	1200	850	TOUGH. OBS. GLASS
5	XD/001818	1800	1810	
6	XD/001818	1800	1810	
7	XD1218	1200	1810	
8	XD1212/DT	1200	1210	TOUGH. OBS. GLASS
9	XD1218	1200	1810	
10	XD1218	1200	1810	
11	SFS0630	600	3010	
12	SFS0627	600	2710	
13	DAD2154-6	2100	5364	STACKER DOOR
14	XD1015	1030	1510	SPECIAL
15	DF1	2090	890	T. E. F. - TO SUIT 2340H DOOR

COMPLIANCE TABLE		
<b>3.8 LOT TYPE</b>		
SITE AREA:	1157m <sup>2</sup>	YES
FRONTAGE:	25.0m	
<b>3.9 SITE COVERAGE</b>		
ALLOWED:	40% or 462.80m <sup>2</sup>	YES
PROPOSED:	22% or 259.30m <sup>2</sup>	
<b>3.10 MAXIMUM FLOOR AREA</b>		
ALLOWED:	430.00m <sup>2</sup>	YES
PROPOSED:	259.30m <sup>2</sup>	
<b>3.12 MAX. FLOOR AREA FOR BALCONIES</b>		
ALLOWED:	12.00m <sup>2</sup>	N/A
PROPOSED:	---m <sup>2</sup>	
<b>3.13 BUILDING HEIGHT</b>		
ALLOWED:	8.500m	YES
PROPOSED:	5.258m	
<b>3.14 FRONT SETBACK</b>		
REQUIRED: AVERAGE OF ADJOINING DWELLING =	10.0m	YES
PROPOSED:	10.0m	
<b>3.16 SIDE SETBACK (LHS)</b>		
PROPOSED WALL HGT:	3.050m	YES
MIN. SIDE SETBACK REQ:	2.50m	
PROPOSED SIDE SETBACK:	2.50m	
<b>3.16 SIDE SETBACK (RHS)</b>		
PROPOSED WALL HGT:	3.050m	YES
MIN. SIDE SETBACK REQ:	2.50m	
PROPOSED SIDE SETBACK:	7.220m	
<b>3.17 REAR SETBACK</b>		
PROPOSED WALL HGT:	3.050m	YES
MIN. REAR SETBACK REQ:	5.0m	
PROPOSED SIDE SETBACK:	12.0m	
<b>3.21 ARTICULATION ZONE</b>		
TOTAL ARTICULATION AREA:	---m <sup>2</sup>	N/A
MAX. ALLOWED:	25% OR ---m <sup>2</sup>	
PROPOSED:	---% OR ---m <sup>2</sup>	
<b>3.24 LANDSCAPE AREA (ENTIRE)</b>		
MIN. REQ:	40% OR 462.80m <sup>2</sup>	YES
PROPOSED:	70% OR 812.95m <sup>2</sup>	
<b>3.24 LANDSCAPE AREA (FRONT ONLY)</b>		
MIN. REQ:	20% OR 67.635m <sup>2</sup>	YES
PROPOSED:	77% OR 209.11m <sup>2</sup>	
<b>3.25 PRIVATE OPEN SPACE</b>		
REQUIRED:	24.0m <sup>2</sup> (MINIMUM 3.0m)	YES
PROPOSED:	24.0m <sup>2</sup> (MINIMUM 4.0m)	
<b>3.26 CAR PARKING &amp; ACCESS</b>		
REQUIRED:	1 SPACE	YES
PROPOSED:	2 SPACES	
GARAGE SET BACK:	MIN 4.50m	
PROPOSED:	11.0m	
<b>3.29 EARTHWORKS</b>		
REQUIRED:	MAX 1.00m CUT & 1.00m FILL	YES
PROPOSED:	0.51m CUT & 0.39m FILL	

**Project Details**

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Facade: <b>TRADITIONAL</b>	SHEET TITLE: <b>SECTION B</b>	SHEET No: <b>3/4</b>
Edition: <b>PLATINUM</b>	SCALE: <b>1:100</b>	FINAL PLAN DATE: -

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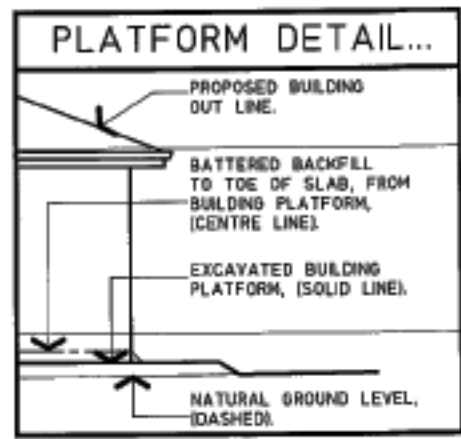
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FRONT ELEVATION



**"FLASHING TO DAMPCOURSE LEVEL TO BE FINISHED FLUSH WITH OUTSIDE FACE OF BRICKWORK"**

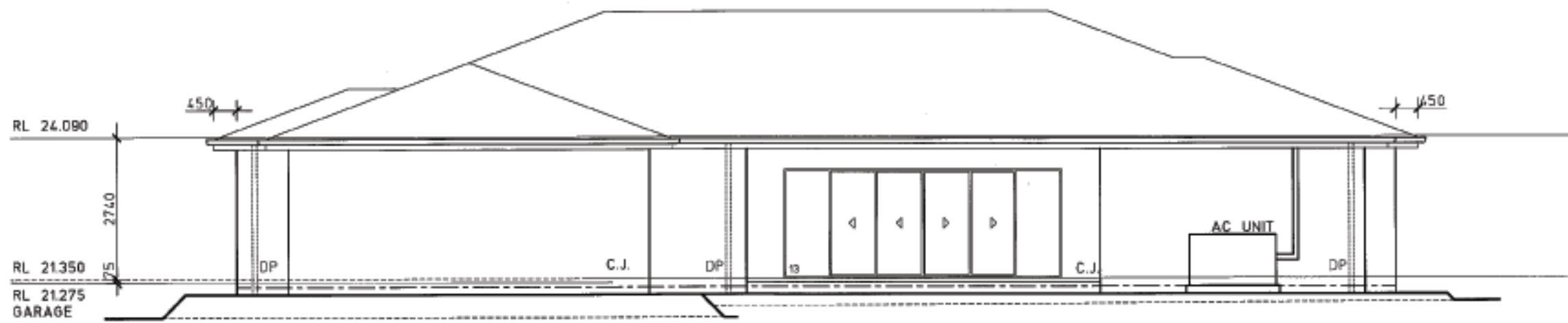


SIDE ELEVATION

**FRAMING NOTES**  
 S0. SET OPENINGS TO GROUND FLOOR 2340mm HIGH (UNLESS SPECIFIED ON FLOOR PLANS)  
 2340mm HIGH INTERNAL DOORS, TO GROUND FLOOR  
 ALL C/J (CONSTRUCTION JOINTS) REQUIRES A STUD WITHIN 300mm ON EITHER SIDE FOR NAILING OF WALL TIES.  
 PROVIDE TERMITE RESISTANT TREATED TIMBER FRAME AND ROOF TRUSSES (INCLUDING FLOORING IN TWO STOREY DESIGNS).

**INSULATION REQUIREMENTS**  
 R1.5 BRADFORD INSULATION BATTS TO EXTERNAL FRAMED WALLS OF LIVING AREAS & INCLUDING WALLS BETWEEN GARAGE & LIVING AREAS  
 R3.5 BRADFORD INSULATION BATTS TO CEILINGS OF LIVING AREAS (EXCLUDING GARAGE)  
 FIRE RETARDANT SARKING & ANTI FLAP PADS TO UNDERSIDE OF THE ROOF TILES (INCLUDING ANTI PONDING BOARDS)  
 PROVIDE DUCTING A CEILING EXHAUST FAN TO EXTERNAL AIR

**BUSHFIRE REQUIREMENTS**  
 PROVIDE FIRE RETARDANT MASTIC TO ALL EXPANSION JOINTS IN BRICKWORK  
 WEATHER STRIPS / DRAUGHT EXCLUDERS TO ALL EXTERNAL DOORS AND GARAGE DOOR  
 SPARK ARRESTOR SCREENS TO VENTS & WEEPHOLES  
 PROVIDE ROOF VENT OR EXTERNAL DUCTING TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5 WITH SPARK GUARDS MADE FROM BRONZE OR STAINLESS STEEL MESH WITH A MAX. APERTURE SIZE OF 1.8mm

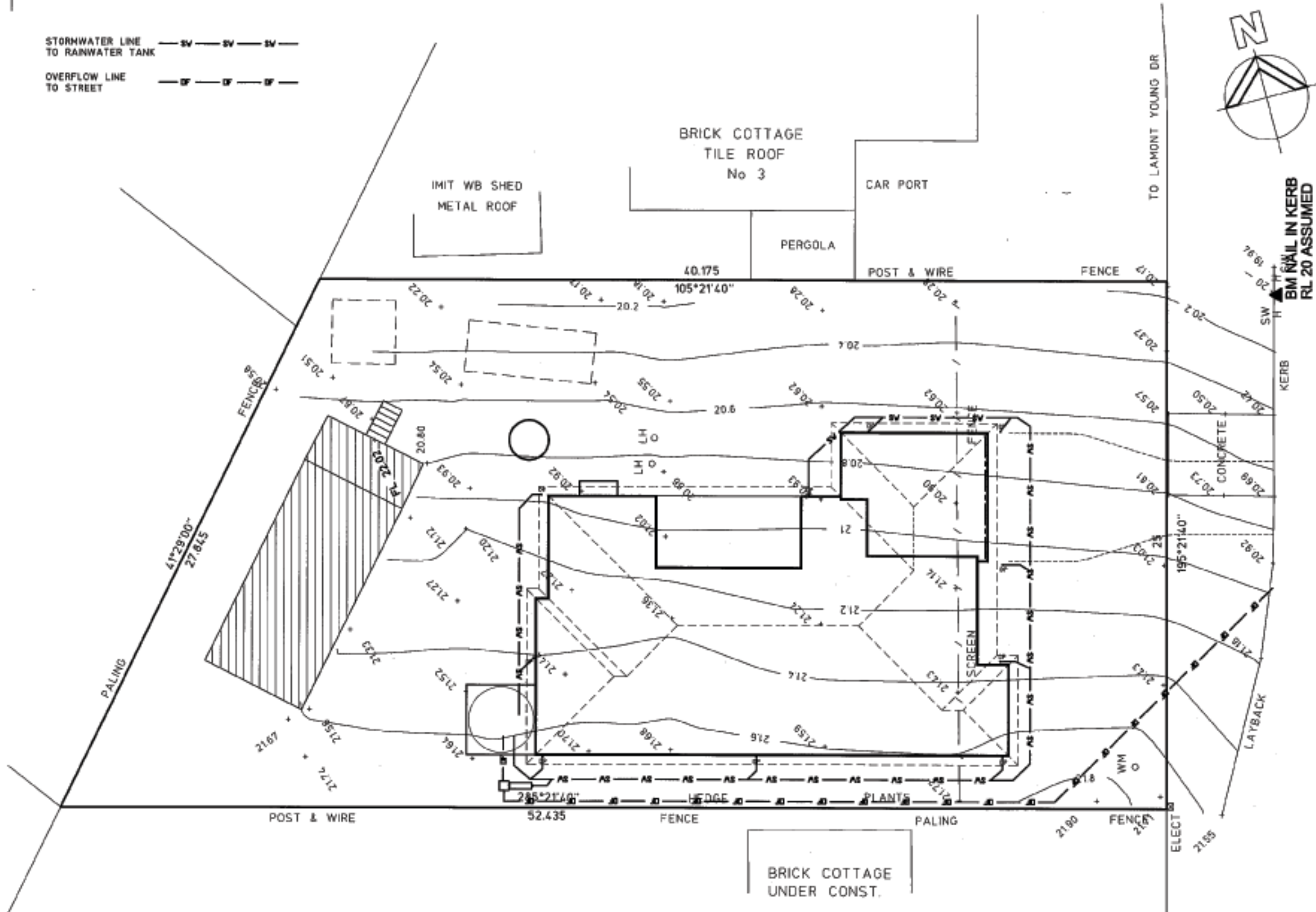


SIDE ELEVATION

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	SCALE:	<b>1:100</b>	FINAL PLAN ISSUE:	-	

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STORMWATER LINE TO RAINWATER TANK — SW — SW — SW —  
 OVERFLOW LINE TO STREET — OF — OF — OF —



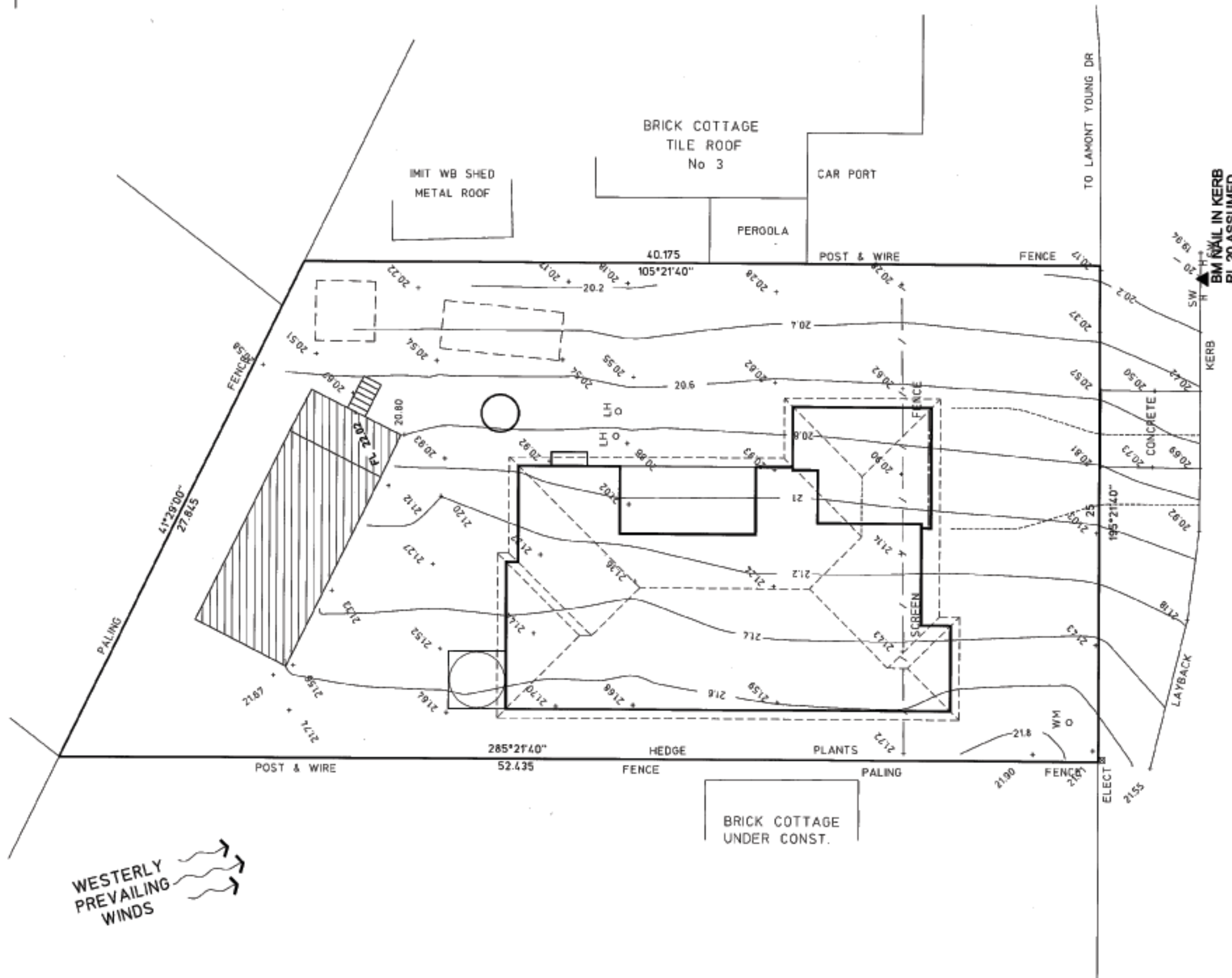
BM NAIL IN KERB  
 RL 20 ASSUMED

**APPROXIMATE POSITION OF  
 STORMWATER LINE ONLY  
 SUBJECT TO SITE CONDITIONS**

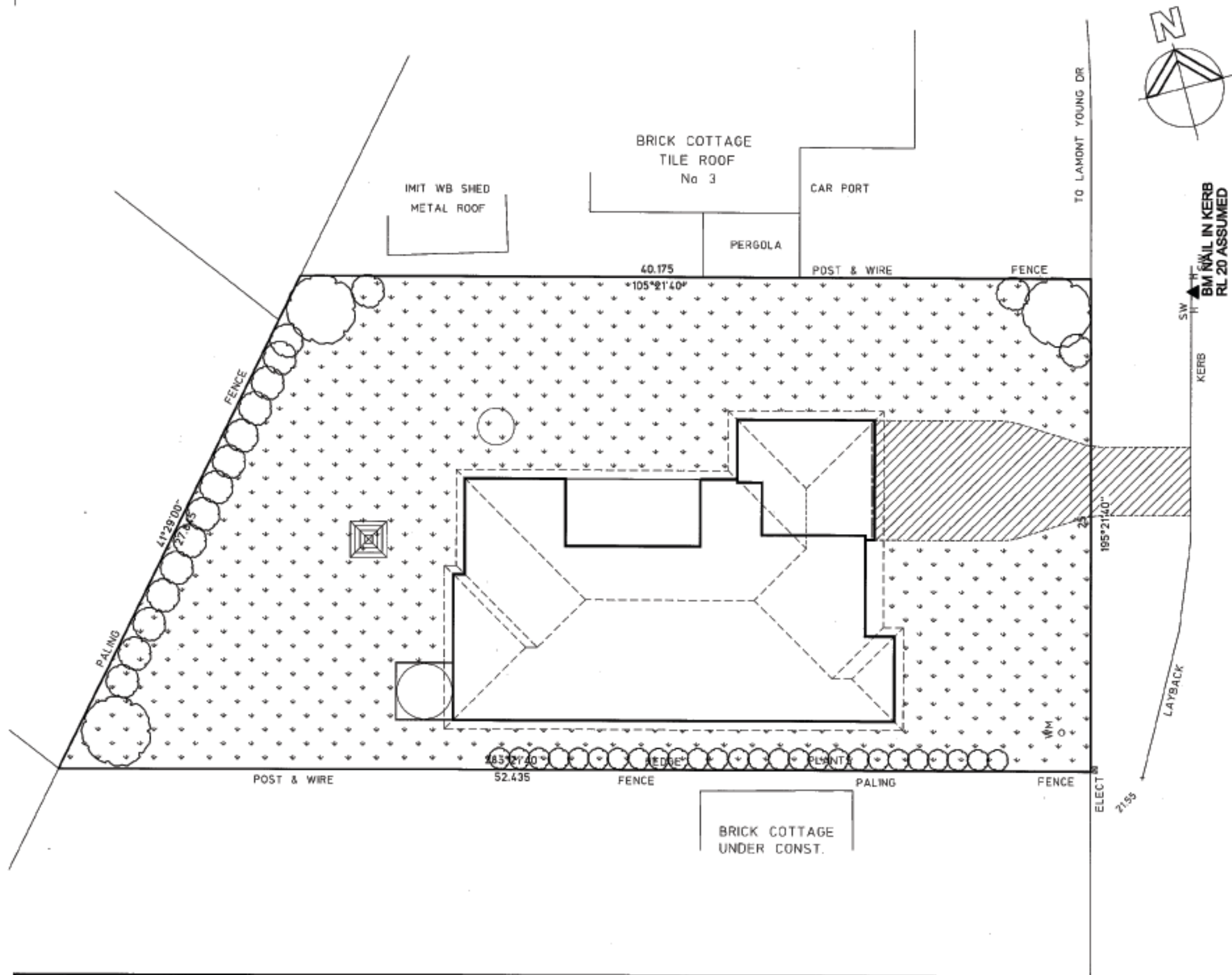
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	RMO	17.04.12		
	SHEET TITLE:	SHEET No.		
	STORMWATER PLAN	1/1		
	SCALE:	FINAL PLAN		
	1:200	ISSUE:		
		DATE:		



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	Edition: <b>PLATINUM</b>	SCALE: <b>1:200</b>	FINAL PLAN ISSUE: -				FINAL PLAN DATE: -
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- KEY**
-  CRUSHED ROCK
  -  PAVING / HARD SURFACE
  -  GRASS
  -  RAIN WATER TANK
  -  A/C UNIT
  -  HOT WATER UNIT
  -  PLANTING
  -  CLOTHES LINE

<p>Design: <b>SIRROCO 7</b></p> <p>Facade: <b>TRADITIONAL</b></p> <p>Edition: <b>PLATINUM</b></p>	<b>Project Details</b>			<p><b>GENERAL NOTES</b></p> <p>Do not scale drawings use figured dimensions only. Check &amp; verify dimension &amp; levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.</p> <p><b>COPYRIGHT:</b> Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copying, amendment or adaption will be prosecuted.</p>	 <p><b>Masterton</b> HOMES</p> <p>PH: 1300 4HOMES      Licence No.: 35558C          PH: 1300 446637      ABN. 52 002 873 047  <a href="http://www.masterton.com.au">www.masterton.com.au</a></p>		
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	SHEET TITLE:	CONCEPT LANDSCAPE				SHEET No:	1/1
	SCALE:	1:200	FINAL PLAN ISSUE:			-	FINAL PLAN DATE: